

## **Alternative Location Analysis Narrative**

### **OGDP 1 A07-08 FACILITY**

#### **Proposed Location: A07-08 FACILITY**

Development Area:      Township 6 North, Range 64 West, 6<sup>th</sup> P.M.  
Sections: 5 W/2; 6; 7; 8; 9; 16; 17; 18  
Weld County, Colorado

Township 7 North, Range 64 West, 6<sup>th</sup> P.M.  
Sections: 31; 32 W/2  
Weld County, Colorado

Location Area:      Township 6 North, Range 64 West, 6<sup>th</sup> P.M.  
Sections: 7 SE/4NE/4  
Weld County, Colorado

Location's setting and potentially impacted receptors: (Land use, density of RBUs, HOBUs, proximity to urban development, etc.)

The proposed A07-08 Facility location is in flood irrigated crop land. Future land use surrounding the proposed oil and gas location is also intended for agricultural production. The nearest Residential Building Unit from the A07-08 Facility is approximately 860 feet Northeast, and this Residential Building Unit is the surface owner with whom Noble has a Surface Use Agreement with for the A07-08 Facility and A07-01 Pad. There are five additional Residential Building Units within 2,000 feet of the proposed location that are not a party to the A07-08 Facility and A07-01 Pad Surface Use Agreement. There are no wells planned for the A07-08 Facility location. It will consist of production equipment associated with nine sections of mineral development from wells on the A07-01 Pad, A07-04 Pad, A07-23 Pad, and A18-09 Pad. The closest areas of disturbance to each Residential Building Unit will be utilized for local government stormwater drainage standards and site access for the respective operation. There are no High Occupancy Building Units or other dense urban development identified within the immediately adjacent proposed development area. The surrounding properties immediately adjacent to the proposed development area consist of lots purchased for the sole purpose of the existing Residential Building Units as well as larger parcels that have been historically utilized for agricultural production.

Potential Impacts to health, safety, welfare, wildlife, and the environment: (Proximity to floodplains, wetlands, Surface Water Supply Areas, wildlife, distance to BUs, BU ownership, right to construct, DIC, current and future land use, etc.)

The A07-08 Facility location is in flood irrigated crop land. Future land use surrounding the proposed oil and gas location is also intended for agricultural production. The Greeley

Number 2 Canal and Willow Creek and associated wetlands are immediately adjacent to the A07-08 Facility to the West. In addition, the defined floodplain area is approximately 46 feet West of location. Finally, there are no High Priority Habitats within the immediate vicinity of the A07-08 Facility.

*Advantages and disadvantages associated with location:* (Consolidate operations, facilities, infrastructure, equipment requirements, access points, roads, routes and transportation, distance to municipal boundaries, local government planning, etc.)

Disadvantages: The main disadvantage of the location is the proximity of the five Residential Building Units within 2,000 feet of the proposed disturbance area that are not a party to the Surface Use Agreement. In addition, another disadvantage is the proximity to Willow Creek and associated floodplain area.

Advantages: The main advantage of the location is that it is a centralized location for the four associated well pads that develop nine sections of minerals in the immediate area. The A07-08 Facility location is able to produce the mineral development from under the unincorporated town of Galeton from a location that is greater than a mile from town limits. In addition, the A07-08 Facility is on the same parcel as the A07-01 Pad, which helps consolidate surface operations and minimize overall receptors for the OGDG development. Finally, the proposed location does not overlay a Disproportionately Impacted Community or a High Priority Habitat as defined by the COGCC.

*Permitting considerations:* (Timing of local or federal permits, etc.)

An overview of the Wells Ranch CDP was presented by Noble at a public meeting on June 13<sup>th</sup>, 2019, at the Eaton Recreation Center in Eaton, Colorado, and the A07-08 Facility location is consistent with what was presented at the public meeting. Weld County previously approved a Comprehensive WOGLA covering the CDP acreage, which includes the A07-08 Facility location. In addition, Weld County held a public hearing regarding the Wells Ranch CDP on December 12<sup>th</sup>, 2019. As a part of the hearing process, Weld County published notification regarding the hearing in the Greeley Tribune and additionally sent notice to Surface Owners and Building Unit occupants in an effort to further engage the surrounding community. No parties filed for intervention to the Comprehensive WOGLA during the 1041 WOGLA process. Weld County issued the approved Comprehensive WOGLA on January 8<sup>th</sup>, 2020, after obtaining input from Weld County planning staff and other stakeholders. Because Weld County has approved and issued a Comprehensive WOGLA covering the Proposed Location, Noble is not required to obtain an individual 1041 WOGLA for the Proposed Location. Consistent with the Comprehensive WOGLA, Noble will submit supplemental site-specific information to Weld County prior to constructing the proposed location, should the same be approved by COGCC as part of the OGDG process.

*Tier Classification:*

Tier IV-A – No Variance required

## **Eliminated Alternative Locations**

### **Alternative Location Analysis 1**

**Location Area:** Township 6 North, Range 64 West, 6<sup>th</sup> P.M.  
Sections: 6 SE/4SW/4  
Weld County, Colorado

**Location's setting and potentially impacted receptors:** (Land use, density of RBUs, HOBUs, proximity to urban development, etc.)

The Alternative Location Analysis ("ALA") described herein reference specific ALA numbers on the attached ALA Map. The ALA Map depicts locations across the OGD; thus, some of the numbered locations on the ALA Map may not be addressed as a potential alternative to the proposed location reviewed in this document. Those ALA numbers from the ALA Map that are not evaluated as part of this document will be reviewed as an ALA for another proposed location within the OGD.

Alternative Location 1 ("ALA 1") is in a pivot irrigated crop field. Future land use surrounding the proposed oil and gas location is also intended for agricultural production. ALA 1 would likely have seven Residential Building Units within 2,000 feet of the surface disturbance, including two Residential Building Units within the 500-foot buffer of ALA 1. ALA 1 would put the proposed location within the same section, and in closer proximity, as the unincorporated town of Galeton and the Galeton Elementary School. There would potentially be an opportunity to utilize an existing PDC Energy oil and gas location, being Location ID 305884.

**Potential Impacts to health, safety, welfare, wildlife, and the environment:** (Proximity to floodplains, wetlands, Surface Water Supply Areas, wildlife, distance to BUs, BU ownership, right to construct, DIC, current and future land use, etc.)

ALA 1 is in a pivot irrigated crop field. Future land use surrounding the proposed oil and gas location is also intended for agricultural production. ALA 1 would be further set back from the Greeley Number 2 Canal and the associated wetlands than the A07-08 Facility location. In addition, ALA 1 would be further from Willow Creek and the associated floodplain than the A07-08 Facility. Finally, there are no High Priority Habitats associated with this respective location.

**Advantages and disadvantages associated with location:** (Consolidate operations, facilities, infrastructure, equipment requirements, access points, roads, routes and transportation, distance to municipal boundaries, local government planning, etc.)

Advantages: One potential advantage of ALA 1 would be, pending approval from PDC Energy, that this location could utilize an already existing oil and gas location (single well Kreps 24-6, Location ID 305884). In addition, ALA 1 would be further from Willow Creek and the associated floodplain area.

Disadvantages: The main disadvantage of this location is that it puts the proposed surface development within the same section, and in closer proximity, as the unincorporated town of Galeton and Galeton Elementary School. In addition, ALA 1 would have two Residential Building Units within 500 feet of the proposed surface disturbance.

Permitting considerations: (Timing of local or federal permits, etc.)

This location has not been approved under the Weld County Comprehensive 1041 WOGLA process for the Wells Ranch CDP.

Conditions or factors that make the location unavailable:

This location is not covered under a Surface Use Agreement for the contemplated development. Any agreements that were in place with the respective surface owner and PDC Energy regarding Location ID 305884 wouldn't cover this new development, and a new Surface Use Agreement would need to be agreed upon by all parties.

Tier Classification:

Tier III-B – No Variance required

## **Summary**

ALA 1 would put the proposed surface development within the same section, and in closer proximity, as the unincorporated town of Galeton and Galeton Elementary School. In addition, ALA 1 would have two Residential Building Units within 500 feet of the location as compared to the A07-08 Facility that would have zero within the same distance. Finally, the A07-08 Facility is a more centralized and consolidated location for the overall OGDG development as compared to ALA 1; thus, the A07-08 Facility was selected as a more reasonable and prudent surface location for the outlined development.

## **Eliminated Alternative Locations**

### **Alternative Location Analysis 2**

Location Area: Township 6 North, Range 64 West, 6<sup>th</sup> P.M.  
Sections: 8 NW/4NW/4  
Weld County, Colorado

Location's setting and potentially impacted receptors: (Land use, density of RBUs, HOBUs, proximity to urban development, etc.)

The Alternative Location Analysis ("ALA") described herein reference specific ALA numbers on the attached ALA Map. The ALA Map depicts locations across the OGD; thus, some of the numbered locations on the ALA Map may not be addressed as a potential alternative to the proposed location reviewed in this document. Those ALA numbers from the ALA Map that are not evaluated as part of this document will be reviewed as an ALA for another proposed location within the OGD.

Alternative Location 2 ("ALA 2") is in a pivot irrigated crop field. Future land use surrounding the proposed oil and gas location is also intended for agricultural production. ALA 2 would likely have twelve Residential Building Units within 2,000 feet of the surface disturbance, including six Residential Building Units within the 500-foot buffer from ALA 2. Finally, there would potentially be an opportunity to utilize an existing PDC Energy oil and gas location, being Location ID 305117.

Potential Impacts to health, safety, welfare, wildlife, and the environment: (Proximity to floodplains, wetlands, Surface Water Supply Areas, wildlife, distance to BUs, BU ownership, right to construct, DIC, current and future land use, etc.)

ALA 2 is in a pivot irrigated crop field. Future land use surrounding ALA 2 is also intended for agricultural production. ALA 2 would be further removed from the Greeley Number 2 Canal and associated wetlands as compared to the A07-08 Facility. In addition, ALA 2 would be further away from Willow Creek and the associated floodplain as compared to the A07-08 Facility. There are no High Priority Habitats associated with this respective location.

Advantages and disadvantages associated with location: (Consolidate operations, facilities, infrastructure, equipment requirements, access points, roads, routes and transportation, distance to municipal boundaries, local government planning, etc.)

Advantages: One potential advantage is that, pending approval from PDC Energy, this location could utilize an already existing oil and gas location (single well Francis 11-8, Location ID 305117).

Disadvantages: The main disadvantage of ALA 2 is that there would be twelve Residential Building Units within 2,000 feet of the surface disturbance, including six Residential Building Units within the 500-foot buffer from ALA 2.

Permitting considerations: (Timing of local or federal permits, etc.)

This location has not been approved under the Weld County Comprehensive 1041 WOGLA process for the Wells Ranch CDP.

Conditions or factors that make the location unavailable:

This location is not covered under a Surface Use Agreement for the contemplated development. Any agreements that were in place with the respective surface owner and PDC Energy regarding Location ID 305117 wouldn't cover this new development, and a new Surface Use Agreement would need to be agreed upon by all parties.

Tier Classification:

Tier III-A – No Variance required

## **Summary**

ALA 2 would have six additional Residential Building Units within 2,000 feet of the location as compared to the A07-08 Facility, including six additional Residential Building Units within the 500-foot buffer as compared to the A07-08 Facility. In addition, the A07-08 Facility is a more centralized and consolidated location for the overall OGDG development as compared to ALA 2; thus, the A07-08 Facility was selected as a more reasonable and prudent surface location for the outlined development.

## **Eliminated Alternative Locations**

### **Alternative Location Analysis 3**

Location Area: Township 6 North, Range 64 West, 6<sup>th</sup> P.M.  
Section: 8 NW/4SW/4  
Weld County, Colorado

Location's setting and potentially impacted receptors: (Land use, density of RBUs, HOBUs, proximity to urban development, etc.)

The Alternative Location Analysis ("ALA") described herein reference specific ALA numbers on the attached ALA Map. The ALA Map depicts locations across the OGD; thus, some of the numbered locations on the ALA Map may not be addressed as a potential alternative to the proposed location reviewed in this document. Those ALA numbers from the ALA Map that are not evaluated as part of this document will be reviewed as an ALA for another proposed location within the OGD.

Alternative Location 3 ("ALA 3") is in a flood irrigated crop field. Future land use surrounding the proposed oil and gas location is also intended for agricultural production. Depending on siting collaboration with the potential surface owner, ALA 3 would likely have seven Residential Building Units within 2,000 feet of the surface disturbance, including three Residential Building Units within the 500-foot buffer from ALA 3. This evaluated surface location would utilize an existing oil and gas location operated by Noble Energy, being Location ID 305762 (Mile High Sheep 8-32 well).

Potential Impacts to health, safety, welfare, wildlife, and the environment: (Proximity to floodplains, wetlands, Surface Water Supply Areas, wildlife, distance to BUs, BU ownership, right to construct, DIC, current and future land use, etc.)

ALA 3 is in a flood irrigated crop field. Future land use surrounding the proposed oil and gas location is also intended for agricultural production. The Greeley Number 2 Canal would still be within 2,000 feet of the surface disturbance proposed by ALA 3, but Willow Creek would be just outside of the 2,000-foot buffer. There are no High Priority Habitats associated with this respective location.

Advantages and disadvantages associated with location: (Consolidate operations, facilities, infrastructure, equipment requirements, access points, roads, routes and transportation, distance to municipal boundaries, local government planning, etc.)

Advantages: An advantage of ALA 3 is that it utilizes an existing oil and gas location operated by Noble Energy (Location ID 305762, single well location). Another advantage is that ALA 3 has additional separation from the hydrologic features associated with the Greeley Number 2 Canal and Willow Creek as compared to the A07-08 Facility.

Disadvantages: The main disadvantage is that ALA 3 would have seven Residential Building Units within 2,000 feet of the location, including three Residential Building Units within the 500-foot buffer. In addition, the closest Residential Building Unit to ALA 3 wouldn't be the Surface Use Agreement owner for the ALA 3 evaluated development.

Permitting considerations: (Timing of local or federal permits, etc.)

This location has not been approved under the Weld County Comprehensive 1041 WOGLA process for the Wells Ranch CDP.

Conditions or factors that make the location unavailable:

This location is not covered under a Surface Use Agreement for the contemplated development. Any agreements that were in place with the respective surface owner and Noble Energy regarding Location ID 305762 wouldn't cover this new development, and a new Surface Use Agreement would need to be agreed upon by all parties.

Tier Classification:

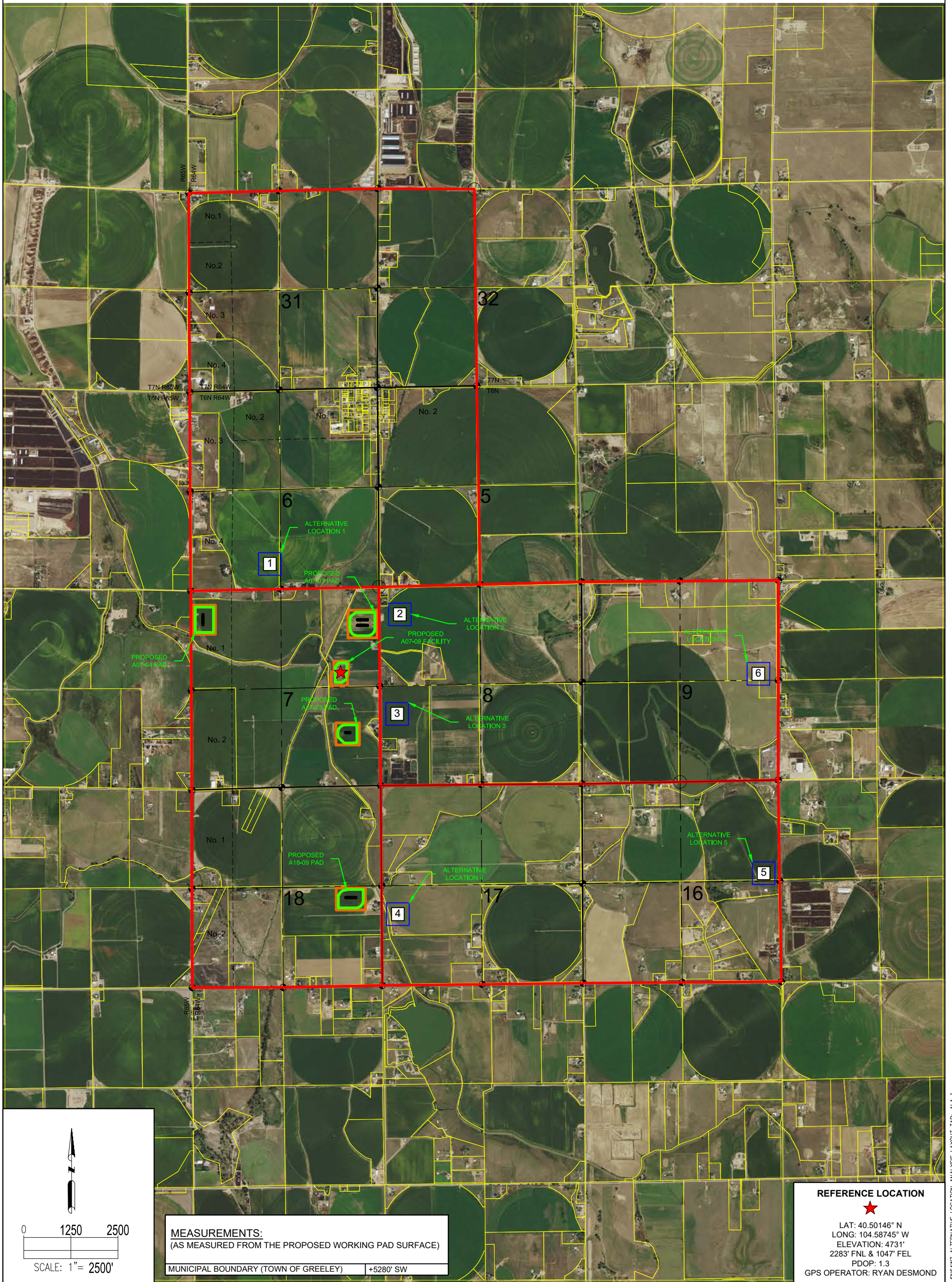
Tier III-A – No Variance required

## **Summary**

ALA 3 would have additional separation between the surface development and the Greeley Number 2 Canal and Willow Creek; however, ALA 3 would have three additional Residential Building Units within 500 feet of the proposed location as compared to the A07-08 Facility. In addition, the A07-08 Facility is a more centralized and consolidated location for the overall OGDG development as compared to ALA 3; thus, the A07-08 Facility was selected as a more reasonable and prudent surface location for the outlined development.



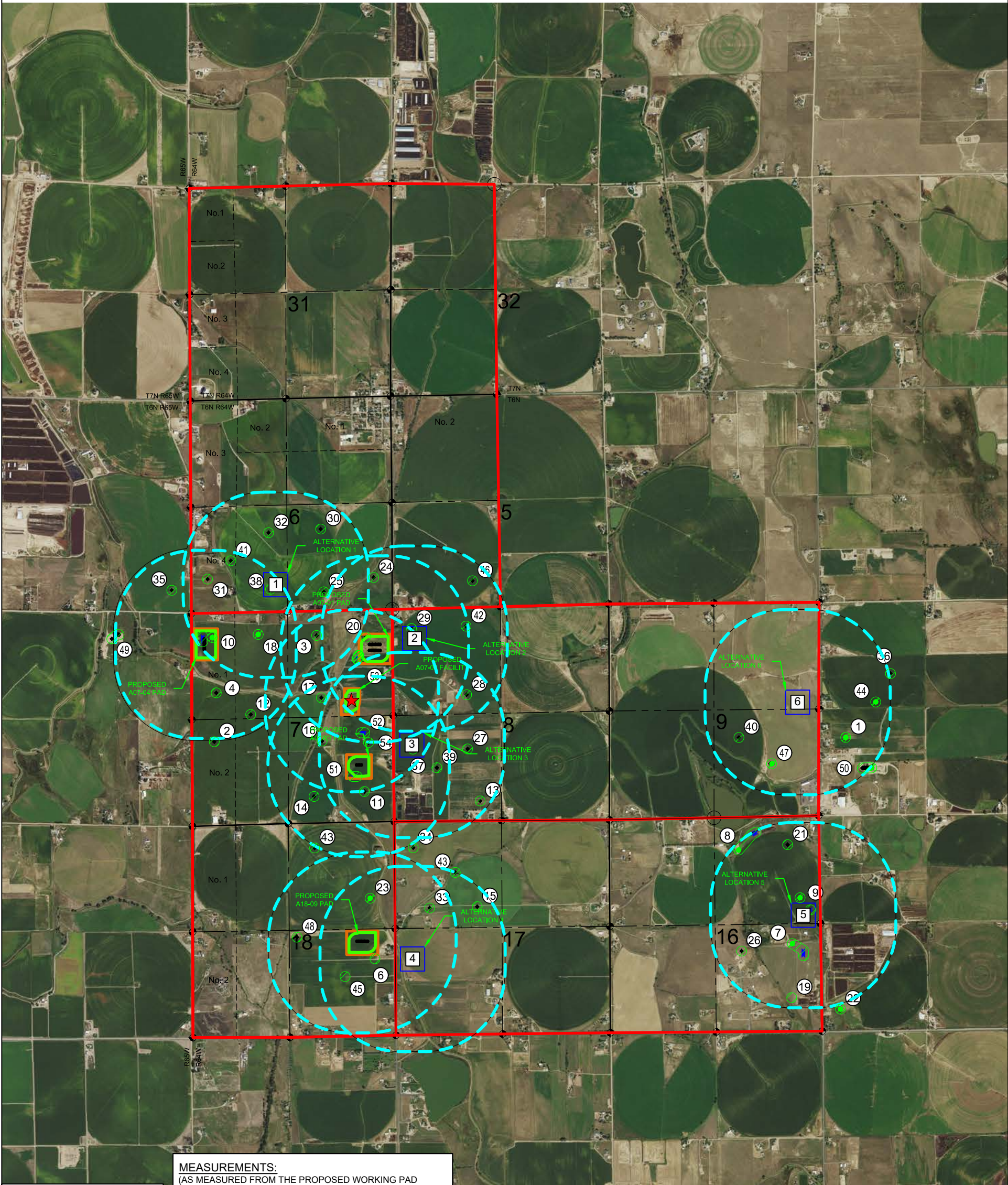
## MAP 1





OGDP 1  
ALTERNATIVE LOCATION ANALYSIS  
MAP 2

SHEET 1 OF 2



MEASUREMENTS:  
(AS MEASURED FROM THE PROPOSED WORKING PAD SURFACE)

PROPOSED A07-08 FACILITY	+5280' S (BLOCK ID 081230007051)
PROPOSED A07-23 PAD	+5280' S (BLOCK ID 081230007051)
PROPOSED A18-09 PAD	+5280' S (BLOCK ID 081230007051)
PROPOSED A07-04 PAD	+5280' S (BLOCK ID 081230007051)
PROPOSED A07-01 PAD	+5280' S (BLOCK ID 081230007051)
ALTERNATIVE LOCATION 1	+5280' S (BLOCK ID 081230007051)
ALTERNATIVE LOCATION 2	+5280' S (BLOCK ID 081230007051)
ALTERNATIVE LOCATION 3	+5280' S (BLOCK ID 081230007051)
ALTERNATIVE LOCATION 4	+5280' S (BLOCK ID 081230007051)
ALTERNATIVE LOCATION 5	+5280' S (BLOCK ID 081230007051)
ALTERNATIVE LOCATION 6	+5280' S (BLOCK ID 081230007051)

REFERENCE LOCATION

★  
LAT: 40.50146° N  
LONG: 104.58745° W  
ELEVATION: 4731'  
2283' FNL & 1047' FEL  
PDOP: 1.3  
GPS OPERATOR: RYAN DESMOND

LEGEND:

- ◆ = PRODUCING WELL

⊙ = EXISTING MONUMENT

○ = CALCULATED POSITION

● = PROPOSED WELL
- ✕ = PLANNED WELL

✕ = PLUGGED & ABANDONED WELL

✕ = DRY & ABANDONED WELL
- = OIL & GAS LOCATION

■ = WORKING PAD SURFACE

■ = DSU BOUNDARY

■ = PERMITTED LOCATION

■ = 2000' BUFFER
- = ALTERNATIVE SITE BOUNDARY

■ = ALTERNATIVE SITE

DATA SOURCE:  
AERIAL IMAGERY: NAIP 2019  
DISPROPORTIONATELY IMPACTED COMMUNITIES:  
COGCC

PUBLICLY AVAILABLE DATA SOURCES HAVE NOT  
BEEN INDEPENDENTLY VERIFIED BY ASCENT.



FIELD  
DATE:  
04-15-19

DRAWN BY:  
JDH

DRAWING  
DATE:  
08-02-21

CHECKED BY:  
IJM

SITE NAME:  
OGDP 1

SURFACE LOCATION:  
SEC. 7 & 18, T6N, R64W, 6TH P.M.  
WELD COUNTY, COLORADO

DISCLAIMER:  
THIS PLOT DOES NOT REPRESENT A MONUMENTED LAND SURVEY AND SHOULD NOT BE RELIED UPON TO  
DETERMINE BOUNDARY LINES, PROPERTY OWNERSHIP OR OTHER PROPERTY INTERESTS. PARCEL LINES,  
IF DEPICTED HAVE NOT BEEN FIELD VERIFIED AND MAY BE BASED UPON PUBLICLY AVAILABLE DATA THAT  
ALSO HAS NOT BEEN INDEPENDENTLY VERIFIED.

PREPARED FOR:  
 noble energy



OGDP 1

ALTERNATIVE LOCATION ANALYSIS

MAP 2

Number	Location ID	Location Name	Location Status
1	322948	HEIDENEREICH, OLIVER-FA-66N64W /10NWSW	AC
2	322987	EHRlich-66N64W /7NWSW	AC
3	323223	KREPS-66N64W /7NWNE	AC
4	323224	EHRlich-66N64W /7SWNW	AC
5	323559	WPF III-66N64W /18NWNE	AC
6	326702	FOOSE-66N64W /18NESE	AC
7	326994	JOHNSON /6N64W16D	AC
8	326996	KD /6N64W16R	AC
9	327061	Kerbs /6N64W16W	AC
10	327105	Braskaland /6N64W7F	AC
11	327108	CARLSON-66N64W /7SESE	AC
12	327119	EHRlich-66N64W /7SENW	AC
13	327152	FRANCEN-66N64W /8SESW	AC
14	327166	CARLSON-66N64W /7SWSE	AC
15	330136	AMIGO-66N64W /17SENW	AC
16	330742	CARLSON-66N64W /7NWSE	AC
17	331123	EHRLECH-66N64W /7SWNE	AC
18	331133	KREPS-66N64W /7NENW	AC
19	331382	STATE 81-66N64W /16SESE	AC
20	331423	DYER-66N64W /7NENE	AC
21	331482	STATE 81-66N64W /16NENE	AC
22	331725	KERBS-66N64W /15SWSW	AC
23	331983	CARLSON-66N64W /18SENE	AC
24	332019	KREPS TRUST-66N64W /6SESE	AC
25	332020	KREPS TRUST-66N64W /6SWSE	AC
26	332045	OWL CREEK STATE-66N64W /16NWSE	AC
27	332195	FRANCEN-66N64W /8NESW	AC
28	305115	FRANCIS-66N64W /8SENW	AC
29	305117	FRANCIS-66N64W /8NWNW	AC
30	305173	KREPS-66N64W /6NWSE	AC
31	305192	STEPHENSON-66N64W /6SWSW	AC
32	305193	STEPHENSON-66N64W /6NESW	AC
33	305486	GULLEY-66N64W /17SWNW	AC
34	305487	UHRICH-66N64W /17NWNW	AC
35	305721	BAY-66N65W /1SESE	AC
36	305756	FOSS-66N64W /10SENW	AC
37	305762	MILE HIGH SHEEP-66N64W /8NWSW	AC
38	305884	KREPS-66N64W /6SESW	AC
39	306224	MILE-HI SHEEP-66N64W /8SWSW	AC
40	306349	HOWARD USX A-66N64W /9NWSE	AC
41	306576	KREPS-66N64W /6SWSW	AC
42	302223	FRANCIS-66N64W /8NENW	AC
43	302537	GULLEY /17-25	AC
44	302776	FOSS /10-2-21	AC
45	420665	Foose USX /A18-23	AC
46	422852	DYER USX A /05-14	AC
47	423191	Howard USX /A09-23 Multi	AC
48	427619	FOOSE PC A /18-65HN	AC
49	429310	Holton /31-12	AC
50	432784	Albrighton /10-P Pad	AC
51	446435	Elvera /6N64W7D	AC
52	446663	Carlson /6N64W7SW	AC
53	447851	Bishop /6N64W7C	AC
54	332122	ROY CARLSON-66N64W /7NESE	AC

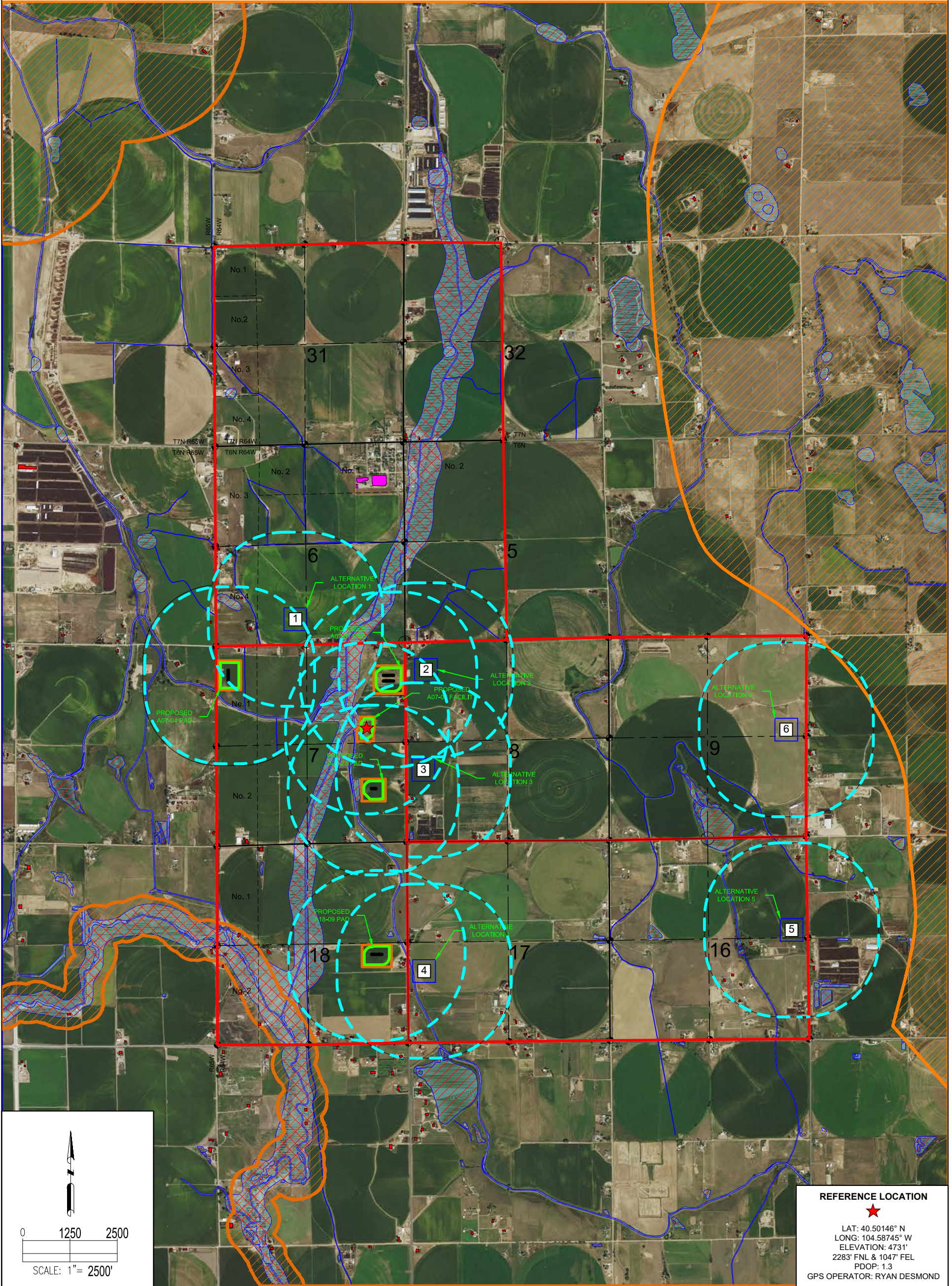
DATA SOURCE:  
AERIAL IMAGERY: NAIP 2019  
DISPROPORTIONATELY IMPACTED COMMUNITIES:  
COGCC

PUBLICLY AVAILABLE DATA SOURCES HAVE NOT  
BEEN INDEPENDENTLY VERIFIED BY ASCENT.



OGDP 1  
ALTERNATIVE LOCATION ANALYSIS  
MAP 3

SHEET 1 OF 2



**LEGEND:**

- EXISTING MONUMENT
- CALCULATED POSITION
- OIL & GAS LOCATION
- WORKING PAD SURFACE
- FLOODPLAIN
- DSU BOUNDARY
- WETLAND
- RESIDENTIAL BUILDING UNIT
- SCHOOL FACILITY
- 2000' BUFFER
- HIGH PRIORITY HABITAT
- ALTERNATIVE SITE
- ALTERNATIVE SITE BOUNDARY

**REFERENCE LOCATION**

LAT: 40.50146° N  
LONG: 104.58745° W  
ELEVATION: 4731'  
2283' FNL & 1047' FEL  
PDOP: 1.3  
GPS OPERATOR: RYAN DESMOND

DATA SOURCE:  
AERIAL IMAGERY: NAIP 2019  
DISPROPORTIONATELY IMPACTED COMMUNITIES:  
COGCC

PUBLICLY AVAILABLE DATA SOURCES HAVE NOT  
BEEN INDEPENDENTLY VERIFIED BY ASCENT.

8620 Wolff Court,  
Westminster, CO 80031  
(303) 928-7128  
www.ascentgeomatics.com

FIELD DATE: 04-15-19  
DRAWN BY: JDH

DRAWING DATE: 08-02-21  
CHECKED BY: IJM

SITE NAME: OGD 1  
SURFACE LOCATION: SEC. 7 & 18, T6N, R64W, 6TH P.M.  
WELD COUNTY, COLORADO

DISCLAIMER:  
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PREPARED FOR:

PLAT: P:\NOB\_B2101010\PROD\CA\OGDP 1 6N64W7 ALTERNATIVE LOCATION ANALYSIS LAYOUT TAB: ALA 3



OGDP 1

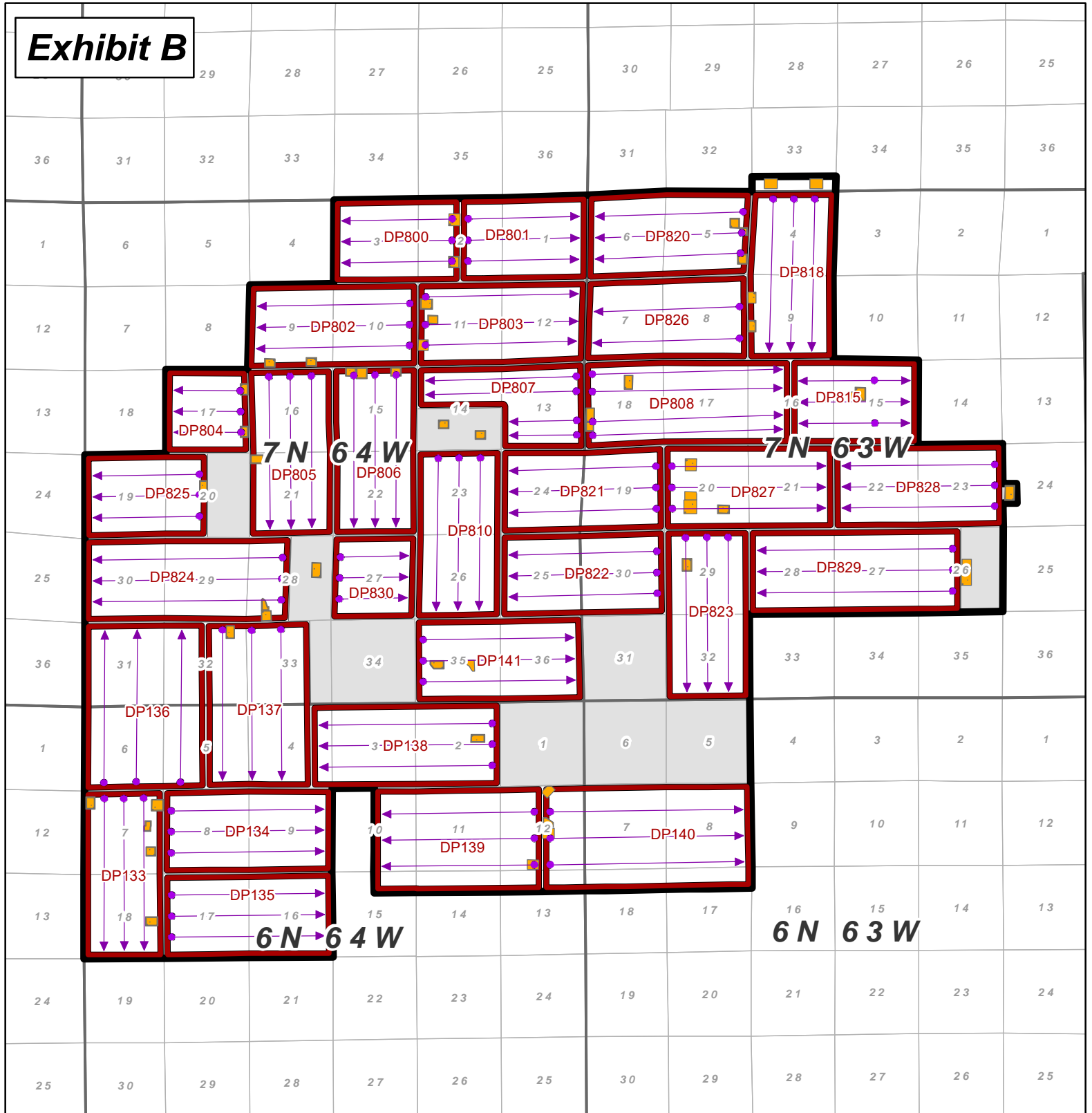
ALTERNATIVE LOCATION ANALYSIS

MAP 3

DISTANCES TO NEAREST CULTURAL FEATURE:	ALTERNATIVE LOCATION 1	ALTERNATIVE LOCATION 2	ALTERNATIVE LOCATION 3	ALTERNATIVE LOCATION 4	ALTERNATIVE LOCATION 5	ALTERNATIVE LOCATION 6
	40.509499, -104.594002	40.505798, -104.582001	40.498501, -104.582001	40.483898, -104.582001	40.486599, -104.546997	40.501099, -104.547997
BUILDING:	±209' SE	±108' NW	±183' W	±187' S	±103' S	±286' E
RESIDENTIAL BUILDING UNIT:	±360' SE	±145' NW	±255' SW	±187' S	±530' SE	±286' E
HOBU:	±3427' NE	±4635' N	+5280' N	+5280' N	+5280' NW	+5280' NW
DESIGNATED OUTSIDE ACTIVITY AREA:	+5280' SW	+5280' SW	+5280' SW	+5280' SW	+5280' SW	+5280' SW
PUBLIC ROAD:	±356' S	±232' W	±138' W	±113' W	±102' E	±219' E
ABOVE-GROUND UTILITY:	±338' S	±274' W	±122' W	±150' W	±85' E	±195' E
RAILROAD:	+5280' W	+5280' W	+5280' W	+5280' W	+5280' W	+5280' W
PROPERTY LINE:	±368' S	±248' W	±158' W	±126' W	±0'	±0'
SCHOOL FACILITY:	±3427' NE	±4635' N	+5280' N	+5280' N	+5280' NW	+5280' NW
CHILD CARE CENTER:	+5280' W	+5280' W	+5280' W	+5280' W	+5280' W	+5280' W
BOUNDARY OF DIC:	+5280' S	+5280' S	+5280' S	+5280' S	+5280' S	+5280' S

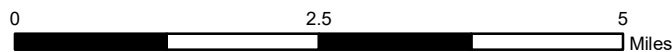
ALA CRITERIA:	PROPOSED A07-08 FACILITY	PROPOSED A07-23 PAD	PROPOSED A18-09 PAD	PROPOSED A07-04 PAD	PROPOSED A07-01 PAD	ALTERNATIVE LOCATION 1	ALTERNATIVE LOCATION 2	ALTERNATIVE LOCATION 3	ALTERNATIVE LOCATION 4	ALTERNATIVE LOCATION 5	ALTERNATIVE LOCATION 6
	40.50146, -104.587745	40.49718, -104.58686	40.48516, -104.58659	40.50524, -104.60050	40.50538, -104.58520	40.509499, -104.594002	40.505798, -104.582001	40.498501, -104.582001	40.483898, -104.582001	40.486599, -104.546997	40.501099, -104.547997
i. <2,000' FROM RBU OR HOBU	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES
ii. <2,000' FROM SCHOOL OR CHILD CARE CENTER	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO
iii. <1,500' FROM DESIGNATED OUTSIDE ACTIVITY AREA	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO
iv. <2,000' FROM JURISDICTIONAL BOUNDARY AND PLG OBJECTS	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO
v. WITHIN FLOODPLAIN	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO
vi. aa. WITHIN A SURFACE WATER SUPPLY AREA	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO
vi. bb. <2,640' FROM TYPE III OR GUDI WELL	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO
vii. WITHIN/IMMEDIATELY UPGRADIENT OF WETLAND OR RIPARIAN	YES	YES	YES	YES	YES	NO	NO	NO	YES	NO	NO
viii. IN HIGH PRIORITY HABITAT AND CPW DID NOT WAIVE	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO
ix. OPERATOR USING SURFACE BOND	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO
x. <2,000' FROM A RBU/HOBU/SCHOOL WITHIN A DIC	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO

# Exhibit B



## Legend

- Facility and Well Pad Locations
- Well Direction
- Development Plan (DP)
- Comprehensive Drilling Plan (CDP)
- Excluded Developed Lands



## Wells Ranch CDP Development

Weld County, Colorado

CSR: NAD 1983 UTM Zone 13N

Revised by: jacobfrost

Date: 6/25/2019

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