

OPERATOR:



500 DALLAS STREET  
SUITE 2300  
HOUSTON, TX 77002  
PHONE: (713)328-1000  
FAX: (713)328-1000

ENGINEER:



5751 KROGER DRIVE  
SUITE 185  
KELLER, TX 76244  
PHONE: (817)562-3350  
TX FIRM NO 12207

SURFACE PROPERTY OWNERS:

WEP TRANSPORT HOLDINGS, LLC  
P.O. BOX 7068  
RANCHO SANTA FE, CA 92067

GENERAL NOTES:

- CITY OF AURORA PLAN REVIEW IS ONLY FOR GENERAL CONFORMANCE WITH CITY OF AURORA DESIGN CRITERIA AND THE CITY CODE. THE CITY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND ELEVATIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE. THE CITY OF AURORA, THROUGH THE APPROVAL OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.
- ALL ROADWAY CONSTRUCTION SHALL CONFORM TO CITY OF AURORA "ROADWAY DESIGN AND CONSTRUCTION SPECIFICATIONS," LATEST REVISION.
- ALL WATER DISTRIBUTION, SANITARY SEWER, AND STORM DRAINAGE CONSTRUCTION SHALL CONFORM TO CITY OF AURORA "PUBLIC UTILITY IMPROVEMENTS RULES AND REGULATIONS REGARDING STANDARDS AND SPECIFICATIONS," LATEST REVISION.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY. THE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY WORKMANSHIP THAT DOES NOT CONFORM TO THE CITY STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE CITY PUBLIC IMPROVEMENT INSPECTIONS DIVISION, 303-739-7420, 24 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION. FOR INFORMATION, CONTACT UTILITY NOTIFICATION CENTER OF COLORADO, 1-800-922-1987 OR 811.
- THE CONTRACTOR SHALL HAVE ONE SIGNED COPY OF THE PLANS (APPROVED BY THE CITY OF AURORA), ONE COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, AND A COPY OF ANY PERMITS AND EXTENSIONS AGREEMENTS NEEDED AT THE JOB SITE AT ALL TIMES.
- IT IS THE CONSULTANT'S RESPONSIBILITY TO ACCURATELY SHOW THE EXISTING CONDITIONS, BOTH ON-SITE AND OFF-SITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NEEDED DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS EITHER ON-SITE OR OFF-SITE, WHICH ARISE IN THE FIELD WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY. THE COST TO RECTIFY ANY ADVERSE SITUATION TO MEET THE CITY STANDARDS AND SPECIFICATIONS AND THE CITY CODE SHALL BE BORNE SOLELY BY THE DEVELOPER.
- THE OWNER/DEVELOPER MUST OBTAIN THE WRITTEN PERMISSION OF THE ADJACENT PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE GRADING OR CONSTRUCTION.
- CONCRETE SHALL NOT BE PLACED UNTIL THE FORMS HAVE BEEN INSPECTED AND A POUR SLIP ISSUED. POUR SLIPS WILL NOT BE ISSUED UNLESS THE CONTRACTOR HAS, AT THE JOB SITE, A COPY OF THE APPROVED PLANS BEARING THE SIGNATURE OF THE CITY ENGINEER AND THE "APPROVED FOR CURB AND GUTTER ONLY" BLOCK INITIALED BY THE CITY ENGINEER'S REPRESENTATIVE.
- PAVING SHALL NOT START UNTIL A SOIL REPORT AND PAVEMENT DESIGN IS APPROVED BY THE CITY ENGINEER AND SUBGRADE COMPACTION TESTS TAKEN BY THE DEVELOPER'S GEOTECH ARE APPROVED BY PUBLIC IMPROVEMENTS INSPECTIONS.
- STANDARD CITY OF AURORA CURB RAMPS SHALL BE CONSTRUCTED AT ALL CURB RETURNS, AT ALL "T" INTERSECTIONS AND AT ALL CURBSIDE KIOSKS OR CLUSTERS, UNLESS OTHERWISE MODIFIED BY THESE PLANS.
- ALL STATIONING IS BASED OF CENTERLINE OF ROADWAYS UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS ARE FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
- THE CITY OF AURORA SHALL NOT BE LIABLE FOR THE MAINTENANCE OF WEP 27A, 278A AND FWSP#1. THESE FACILITIES MAY NOT MEET CITY STANDARDS AND SHALL REMAIN IN PRIVATE MAINTENANCE IN PERPETUITY.
- THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR CONTACTING CDOT TO ENSURE THAT ALL WORK ON OR ADJACENT TO STATE HIGHWAYS OR CDOT R.O.W. MEETS CDOT REQUIREMENTS.
- THE STREETLIGHT INSTALLATION COST IS FUNDED BY THE DEVELOPER/OWNER. COORDINATE THE STREETLIGHT LOCATIONS AND INSTALLATION WITH THE PUBLIC WORKS DEPARTMENT 303-739-7300.
- THE OWNER/CONTRACTOR MUST OBTAIN A C.D.P.H.E. STORM WATER DISCHARGE PERMIT FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, IF REQUIRED.
- THE OWNER/CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE ARMY CORP OF ENGINEERS FOR WETLAND MITIGATION OR WORK WITHIN THE WATERS OF THE U.S., IF REQUIRED. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO INFORM THE CITY OF AURORA OF THE CORP OF ENGINEER'S REQUIREMENTS. CITY APPROVAL OF THE CONSTRUCTION PLANS IS SUBJECT TO THE OWNER/CONTRACTOR OBTAINING A 404 PERMIT, IF APPLICABLE.

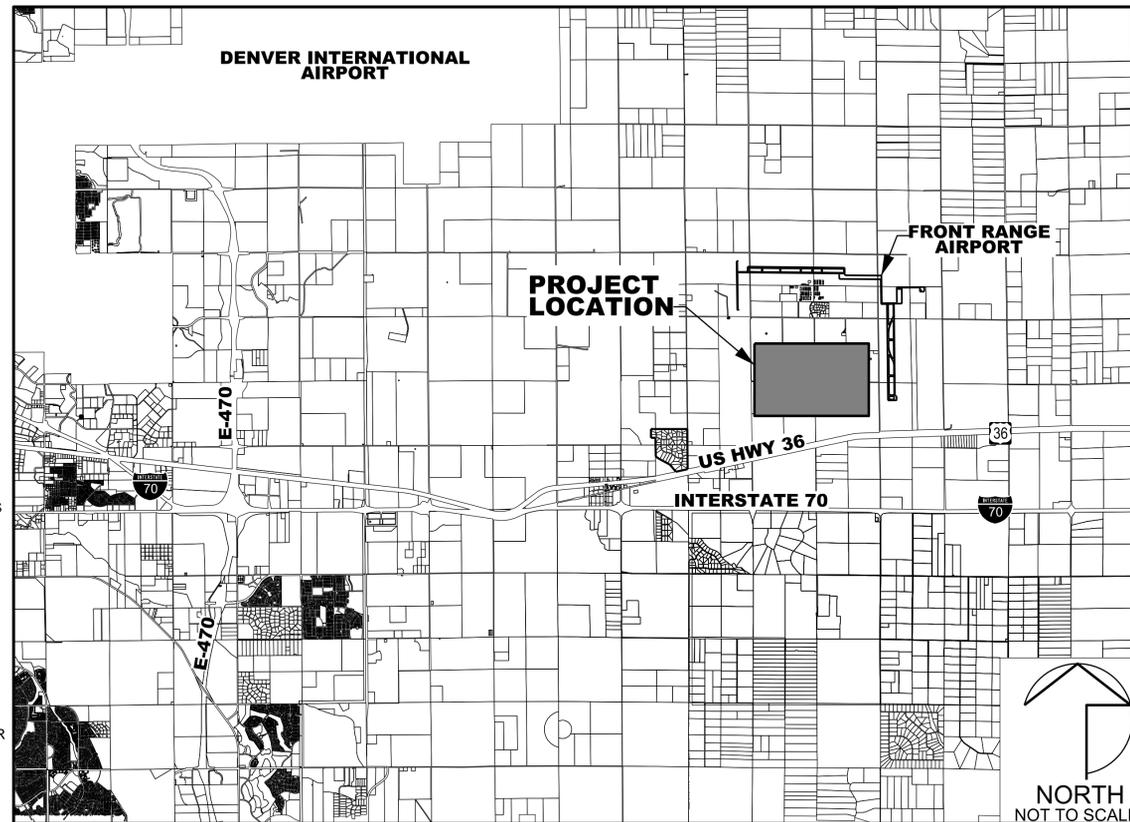
# CIVIL PLANS

FOR

# WEP 27A & WEP 28A WELL PADS & FRESHWATER STORAGE PIT #1 (FWSP#1)

LEGAL DESCRIPTION:

WEP 27A: SEC 27, TWP 3S, RNG 64W  
WEP 28A: SEC 28, TWP 3S, RNG 64W  
FWSP#1: SEC 28, TWP 3S, RNG 64W



VICINITY MAP  
N.T.S.

SHEET INDEX:

- |   |  |
|---|--|
| 1 | COVER SHEET                                    |
| 2 | WEP 27A- GRADING & EROSION CONTROL PLAN        |
| 3 | WEP 28A- GRADING & EROSION CONTROL PLAN        |
| 4 | FWSP#1-GRADING & EROSION CONTROL PLAN          |
| 5 | ACCESS DRIVE & SD PLAN (STA 00+00 TO 51+00)    |
| 6 | ACCESS DRIVE & SD PLAN (STA 51+00 TO 92+66.78) |
| 7 | SURVEY CONTROL DRAWING                         |

APPROVED FOR ON YEAR FROM THIS DATE:

_____	_____
CITY ENGINEER	DATE
_____	_____
WATER DEPARTMENT	DATE

NOTES:

CITY OF AURORA PLAN REVIEW IS ONLY FOR GENERAL CONFORMANCE WITH CITY OF AURORA DESIGN CRITERIA AND THE CITY CODE. THE CITY IS NOT RESPONSIBLE FOR THE ACCURACY CONFIRMED AND CORRELATED AT THE JOB SITE. THE CITY OF AURORA THROUGH THE APPROVAL OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

PROJECT BENCHMARK (CITY OF AURORA)  
COA ID 3S6427NE001  
3" DIAMETER BRASS CAP ATOP A 30" LONG STEEL PIPE  
IN CONCRETE ON THE EAST SIDE OF MANILLA RD IN A  
N-S FE. FOR FRONT RANGE AIRPORT NEAR THE 1/4  
CORNER FOR SEC. 2/26, T3S, R64W.  
NAVD 88 ELEVATION: 5522.181

## THE CITY OF AURORA, COLORADO



# NOVEMBER 2012



CIVIL PLANS FOR  
**WEP 27A, WEP 28A, & FRESHWATER STORAGE PIT #1**  
 AURORA, COLORADO



500 Dallas Street, Suite 2300  
 Houston, TX 77002  
 Phone 713-328-1000  
 Fax 713-358-6437



5751 KROGER DRIVE  
 SUITE 185  
 KELLER, TX 76244  
 PHONE: 817-562-3350

TEXAS FIRM NO. 12207

**LEGEND**

- SURFACE ROUGHENING/ SEEDING AND MULCHING AREA
- 5510 EXISTING CONTOURS
- 5512 PROPOSED CONTOURS
- SF SILT FENCE
- CONTAINMENT DITCH
- FLOW ARROW
- PROPOSED WELLS

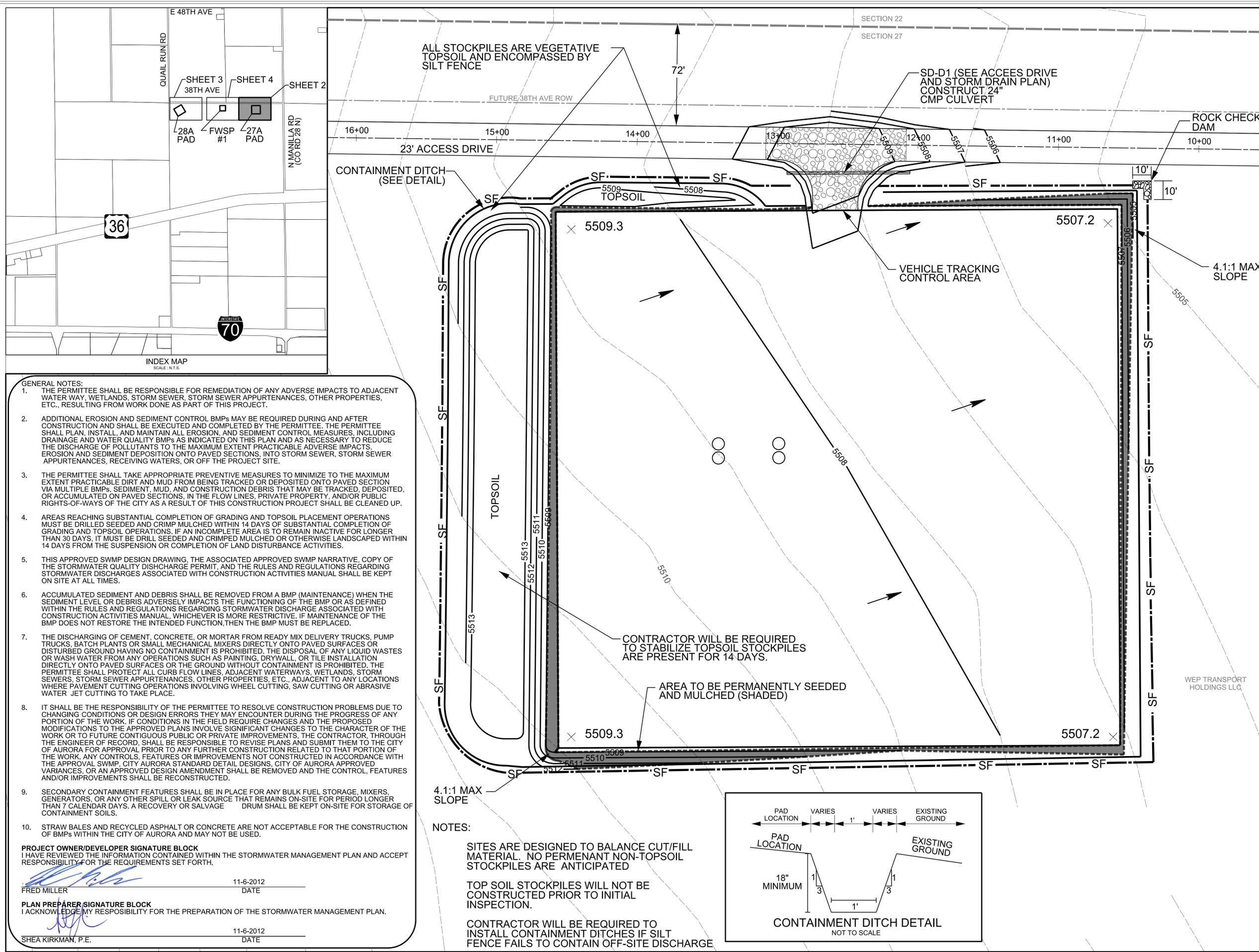
PROJECT NO: CIVIL PLANS  
 FILE PATH: G:\JOB\CR212002\_Colorado\Petrol  
 DRAWN BY: NCR, BSM  
 REVIEWED BY: PCF  
 DATE: NOVEMBER 2012  
 REV:



SHEET CONTENT

**WEP 27A GRADING & EROSION CONTROL PLAN**

SHEET NO. 2



- GENERAL NOTES:**
- THE PERMITTEE SHALL BE RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATER WAY, WETLANDS, STORM SEWER, STORM SEWER APPURTENANCES, OTHER PROPERTIES, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
  - ADDITIONAL EROSION AND SEDIMENT CONTROL BMPs MAY BE REQUIRED DURING AND AFTER CONSTRUCTION AND SHALL BE EXECUTED AND COMPLETED BY THE PERMITTEE. THE PERMITTEE SHALL PLAN, INSTALL, AND MAINTAIN ALL EROSION, AND SEDIMENT CONTROL MEASURES, INCLUDING DRAINAGE AND WATER QUALITY BMPs AS INDICATED ON THIS PLAN AND AS NECESSARY TO REDUCE THE DISCHARGE OF POLLUTANTS TO THE MAXIMUM EXTENT PRACTICABLE ADVERSE IMPACTS. EROSION AND SEDIMENT DEPOSITION ONTO PAVED SECTIONS, INTO STORM SEWER, STORM SEWER APPURTENANCES, RECEIVING WATERS, OR OFF THE PROJECT SITE.
  - THE PERMITTEE SHALL TAKE APPROPRIATE PREVENTIVE MEASURES TO MINIMIZE TO THE MAXIMUM EXTENT PRACTICABLE DIRT AND MUD FROM BEING TRACKED OR DEPOSITED ONTO PAVED SECTION VIA MULTIPLE BMPs. SEDIMENT, MUD, AND CONSTRUCTION DEBRIS THAT MAY BE TRACKED, DEPOSITED, OR ACCUMULATED ON PAVED SECTIONS, IN THE FLOW LINES, PRIVATE PROPERTY, AND/OR PUBLIC RIGHTS-OF-WAYS OF THE CITY AS A RESULT OF THIS CONSTRUCTION PROJECT SHALL BE CLEANED UP.
  - AREAS REACHING SUBSTANTIAL COMPLETION OF GRADING AND TOPSOIL PLACEMENT OPERATIONS MUST BE DRILLED SEEDED AND CRIMP MULCHED WITHIN 14 DAYS OF SUBSTANTIAL COMPLETION OF GRADING AND TOPSOIL OPERATIONS. IF AN INCOMPLETE AREA IS TO REMAIN INACTIVE FOR LONGER THAN 30 DAYS, IT MUST BE DRILL SEEDED AND CRIMPED MULCHED OR OTHERWISE LANDSCAPED WITHIN 14 DAYS FROM THE SUSPENSION OR COMPLETION OF LAND DISTURBANCE ACTIVITIES.
  - THIS APPROVED SWMP DESIGN DRAWING, THE ASSOCIATED APPROVED SWMP NARRATIVE, COPY OF THE STORMWATER QUALITY DISCHARGE PERMIT, AND THE RULES AND REGULATIONS REGARDING STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES MANUAL SHALL BE KEPT ON SITE AT ALL TIMES.
  - ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A BMP (MAINTENANCE) WHEN THE SEDIMENT LEVEL OR DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE BMP OR AS DEFINED WITHIN THE RULES AND REGULATIONS REGARDING STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES MANUAL, WHICHEVER IS MORE RESTRICTIVE. IF MAINTENANCE OF THE BMP DOES NOT RESTORE THE INTENDED FUNCTION, THEN THE BMP MUST BE REPLACED.
  - THE DISCHARGING OF CEMENT, CONCRETE, OR MORTAR FROM READY MIX DELIVERY TRUCKS, PUMP TRUCKS, BATCH PLANTS OR SMALL MECHANICAL MIXERS DIRECTLY ONTO PAVED SURFACES OR DISTURBED GROUND HAVING NO CONTAINMENT IS PROHIBITED. THE DISPOSAL OF ANY LIQUID WASTES OR WASH WATER FROM ANY OPERATIONS SUCH AS PAINTING, DRYWALL, OR TILE INSTALLATION DIRECTLY ONTO PAVED SURFACES OR THE GROUND WITHOUT CONTAINMENT IS PROHIBITED. THE PERMITTEE SHALL PROTECT ALL CURB FLOW LINES, ADJACENT WATERWAYS, WETLANDS, STORM SEWERS, STORM SEWER APPURTENANCES, OTHER PROPERTIES, ETC., ADJACENT TO ANY LOCATIONS WHERE PAVEMENT CUTTING OPERATIONS INVOLVING WHEEL CUTTING, SAW CUTTING OR ABRASIVE WATER JET CUTTING TO TAKE PLACE.
  - IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO RESOLVE CONSTRUCTION PROBLEMS DUE TO CHANGING CONDITIONS OR DESIGN ERRORS THEY MAY ENCOUNTER DURING THE PROGRESS OF ANY PORTION OF THE WORK. IF CONDITIONS IN THE FIELD REQUIRE CHANGES AND THE PROPOSED MODIFICATIONS TO THE APPROVED PLANS INVOLVE SIGNIFICANT CHANGES TO THE CHARACTER OF THE WORK OR TO FUTURE CONTIGUOUS PUBLIC OR PRIVATE IMPROVEMENTS, THE CONTRACTOR, THROUGH THE ENGINEER OF RECORD, SHALL BE RESPONSIBLE TO REVISE PLANS AND SUBMIT THEM TO THE CITY OF AURORA FOR APPROVAL PRIOR TO ANY FURTHER CONSTRUCTION RELATED TO THAT PORTION OF THE WORK. ANY CONTROLS, FEATURES OR IMPROVEMENTS NOT CONSTRUCTED IN ACCORDANCE WITH THE APPROVAL SWMP, CITY AURORA STANDARD DETAIL DESIGNS, CITY OF AURORA APPROVED VARIANCES, OR AN APPROVED DESIGN AMENDMENT SHALL BE REMOVED AND THE CONTROL, FEATURES AND/OR IMPROVEMENTS SHALL BE RECONSTRUCTED.
  - SECONDARY CONTAINMENT FEATURES SHALL BE IN PLACE FOR ANY BULK FUEL STORAGE, MIXERS, GENERATORS, OR ANY OTHER SPILL OR LEAK SOURCE THAT REMAINS ON-SITE FOR PERIOD LONGER THAN 7 CALENDAR DAYS. A RECOVERY OR SALVAGE DRUM SHALL BE KEPT ON-SITE FOR STORAGE OF CONTAINMENT SOILS.
  - STRAW BALES AND RECYCLED ASPHALT OR CONCRETE ARE NOT ACCEPTABLE FOR THE CONSTRUCTION OF BMPs WITHIN THE CITY OF AURORA AND MAY NOT BE USED.

**PROJECT OWNER/DEVELOPER SIGNATURE BLOCK**  
 I HAVE REVIEWED THE INFORMATION CONTAINED WITHIN THE STORMWATER MANAGEMENT PLAN AND ACCEPT RESPONSIBILITY FOR THE REQUIREMENTS SET FORTH.  
  
 FRED MILLER 11-6-2012  
 DATE

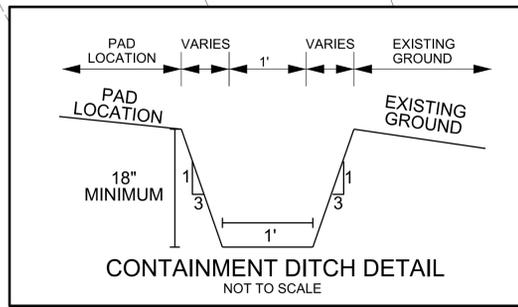
**PLAN PREPARER SIGNATURE BLOCK**  
 I ACKNOWLEDGE MY RESPONSIBILITY FOR THE PREPARATION OF THE STORMWATER MANAGEMENT PLAN.  
  
 SHEA KIRKMAN, P.E. 11-6-2012  
 DATE

**NOTES:**

SITES ARE DESIGNED TO BALANCE CUT/FILL MATERIAL. NO PERMANANT NON-TOPSOIL STOCKPILES ARE ANTICIPATED

TOP SOIL STOCKPILES WILL NOT BE CONSTRUCTED PRIOR TO INITIAL INSPECTION.

CONTRACTOR WILL BE REQUIRED TO INSTALL CONTAINMENT DITCHES IF SILT FENCE FAILS TO CONTAIN OFF-SITE DISCHARGE



CIVIL PLANS FOR  
**WEP 27A,  
 WEP 28A, &  
 FRESHWATER  
 STORAGE PIT #1**  
 AURORA, COLORADO



500 Dallas Street, Suite 2300  
 Houston, TX 77002  
 Phone 713-328-1000  
 Fax 713-358-6437



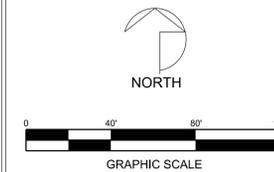
5751 KROGER DRIVE  
 SUITE 185  
 KELLER, TX 76244  
 PHONE: 817-562-3350

TEXAS FIRM NO. 12207

**LEGEND**

- SURFACE ROUGHENING/ SEEDING AND MULCHING AREA
- EXISTING CONTOURS
- PROPOSED CONTOURS
- SILT FENCE
- CONTAINMENT DITCH FLOW ARROW
- PROPOSED WELLS

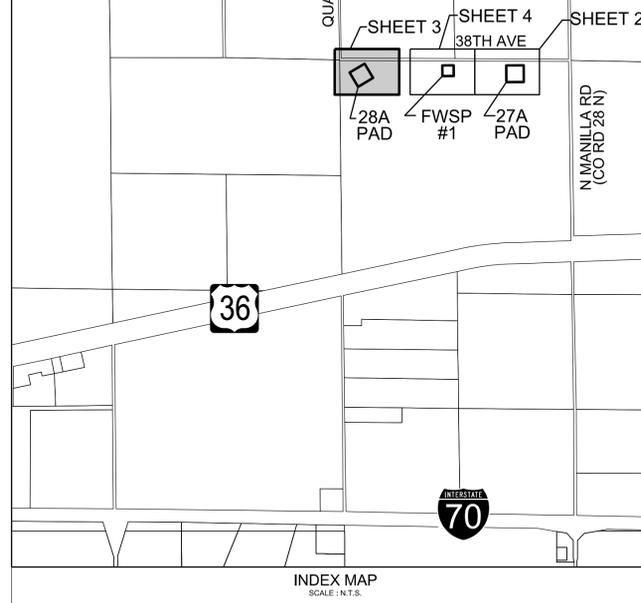
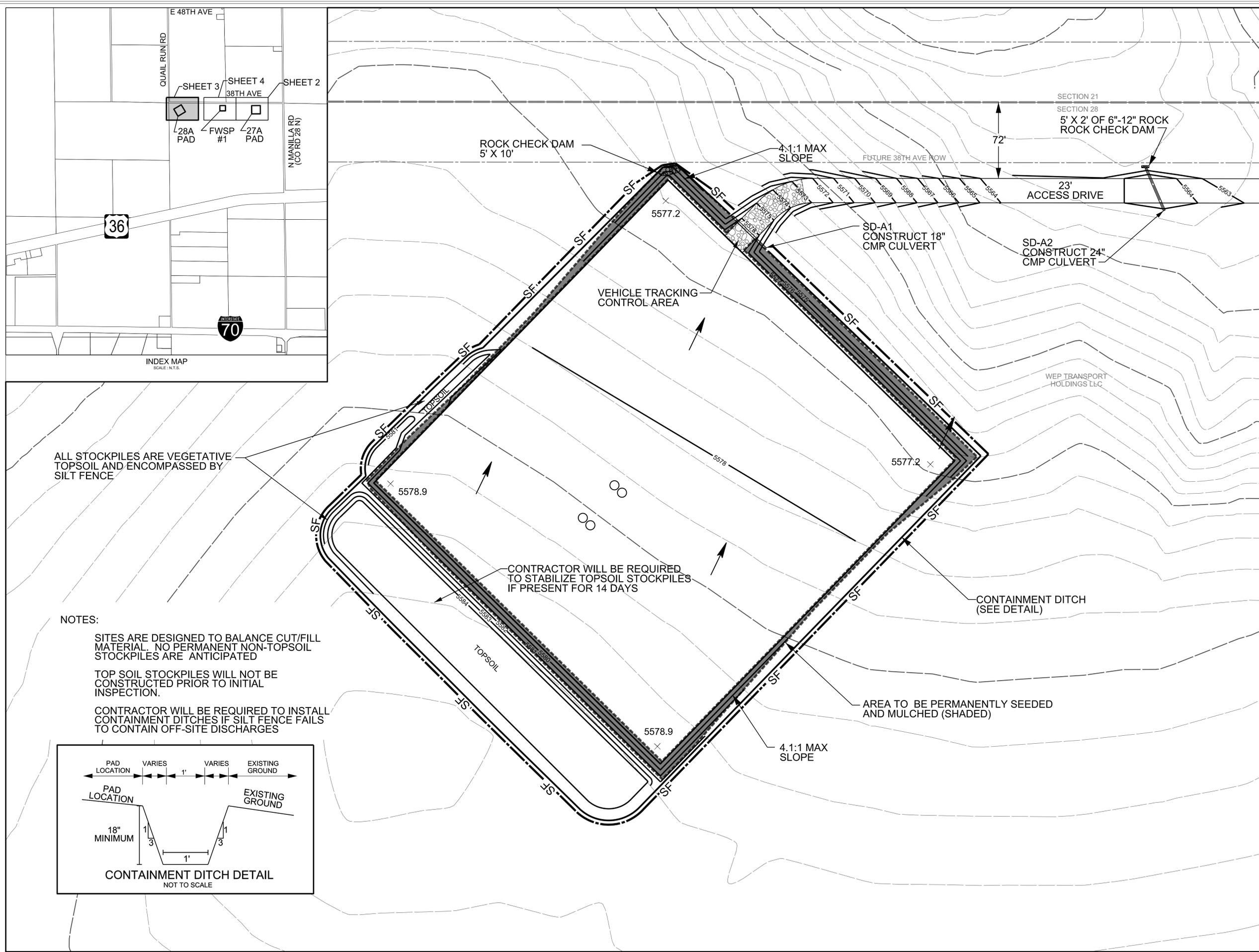
PROJECT NO: CIVIL PLANS  
 FILE PATH: G:\JOB\CR212002\_Colorado\Petrol  
 DRAWN BY: NCR, BSM  
 REVIEWED BY: PCF  
 DATE: NOVEMBER 2012  
 REV:



SHEET CONTENT

**WEP 28A  
 GRADING &  
 EROSION  
 CONTROL PLAN**

SHEET NO. **3**



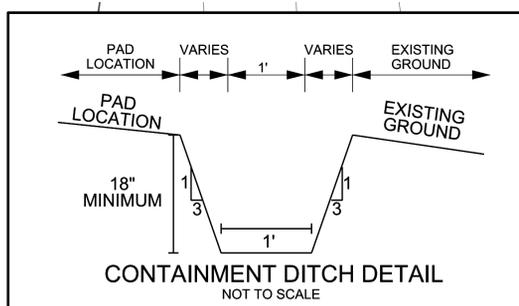
ALL STOCKPILES ARE VEGETATIVE TOPSOIL AND ENCOMPASSED BY SILT FENCE

CONTRACTOR WILL BE REQUIRED TO STABILIZE TOPSOIL STOCKPILES IF PRESENT FOR 14 DAYS

AREA TO BE PERMANENTLY SEEDED AND MULCHED (SHADED)

**NOTES:**

- SITES ARE DESIGNED TO BALANCE CUT/FILL MATERIAL. NO PERMANENT NON-TOPSOIL STOCKPILES ARE ANTICIPATED
- TOP SOIL STOCKPILES WILL NOT BE CONSTRUCTED PRIOR TO INITIAL INSPECTION.
- CONTRACTOR WILL BE REQUIRED TO INSTALL CONTAINMENT DITCHES IF SILT FENCE FAILS TO CONTAIN OFF-SITE DISCHARGES



CIVIL PLANS FOR  
**WEP 27A, WEP 28A, & FRESHWATER STORAGE PIT #1**  
 AURORA, COLORADO



500 Dallas Street, Suite 2300  
 Houston, TX 77002  
 Phone 713-328-1000  
 Fax 713-358-6437



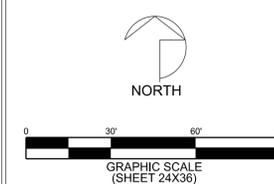
5751 KROGER DRIVE  
 SUITE 185  
 KELLER, TX 76244  
 PHONE: 817-562-3350

TEXAS FIRM NO. 12207

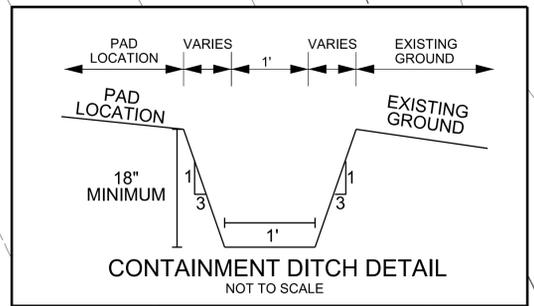
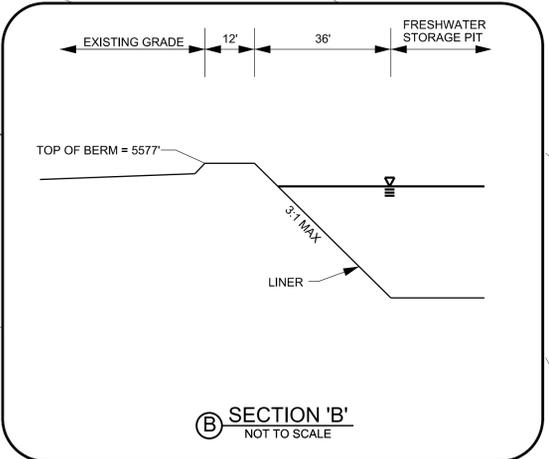
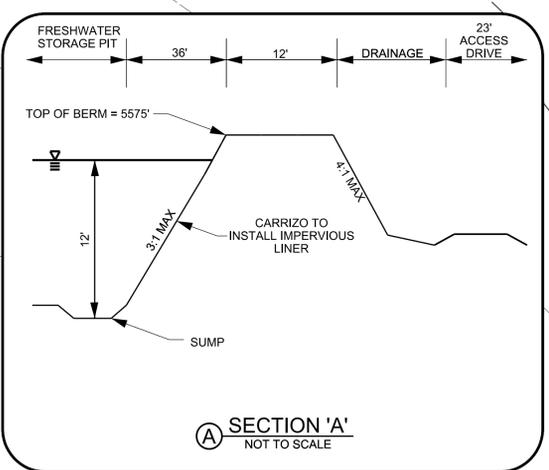
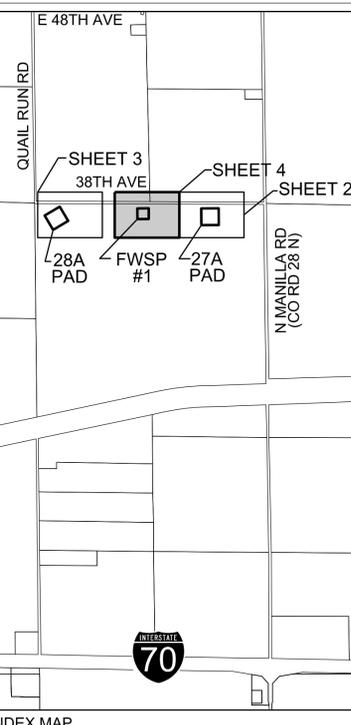
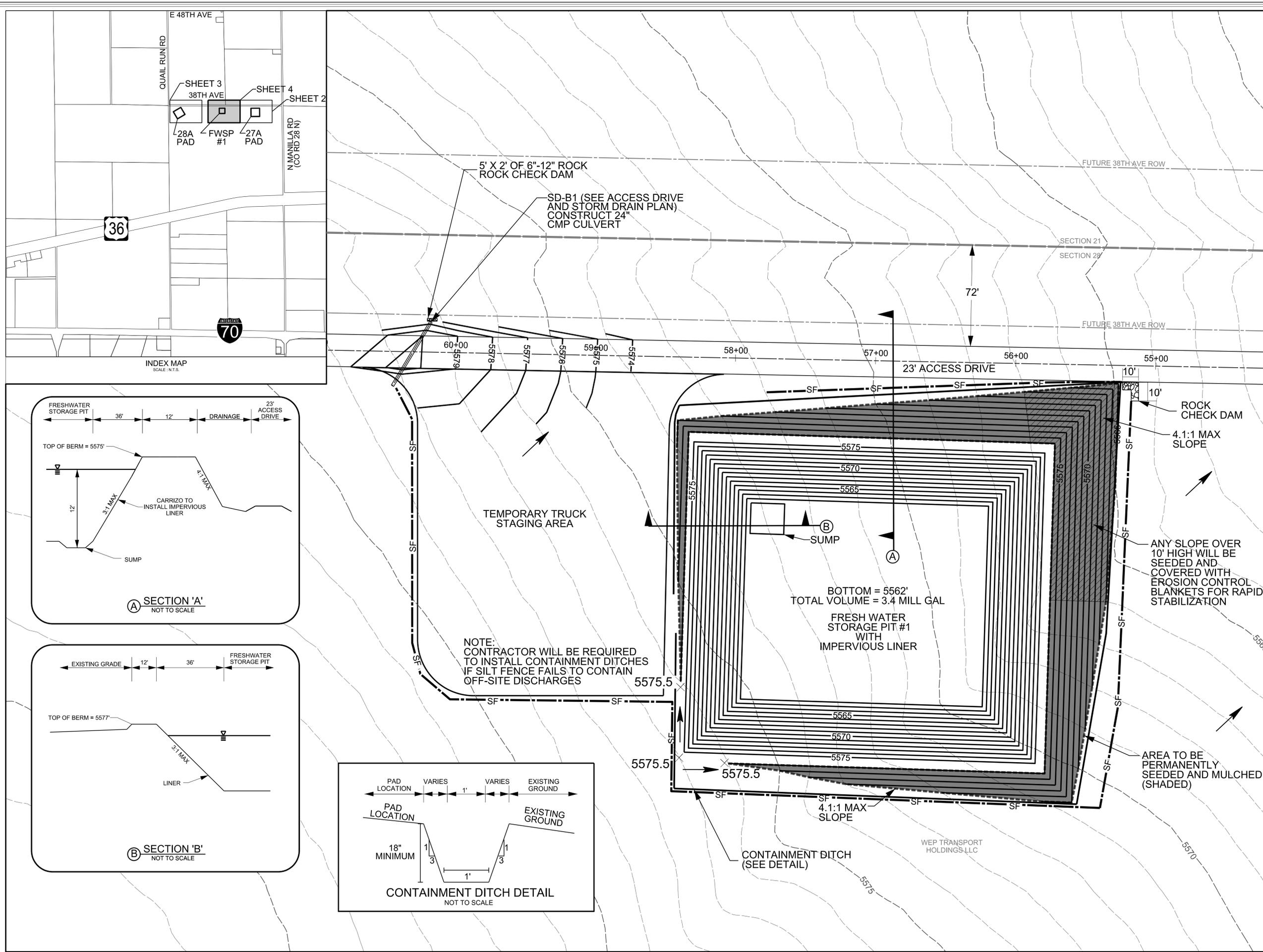
**LEGEND**

- SURFACE ROUGHENING/ SEEDING AND MULCHING AREA
- EXISTING CONTOURS
- PROPOSED CONTOURS
- SILT FENCE
- CONTAINMENT DITCH FLOW ARROW
- PROPOSED WELLS

PROJECT NO: CIVIL PLANS  
 FILE PATH: G:\JOB\CRZ12002\_Colorado\Petrol  
 DRAWN BY: NCR, BSM  
 REVIEWED BY: PCF  
 DATE: NOVEMBER 2012  
 REV:



SHEET CONTENT  
**FRESHWATER STORAGE PIT #1 GRADING & EROSION CONTROL PLAN**



NOTE: CONTRACTOR WILL BE REQUIRED TO INSTALL CONTAINMENT DITCHES IF SILT FENCE FAILS TO CONTAIN OFF-SITE DISCHARGES

WEP TRANSPORT HOLDINGS, LLC

CIVIL PLANS FOR  
**WEP 27A,  
 WEP 28A, &  
 FRESHWATER  
 STORAGE PIT #1**  
 AURORA, COLORADO



500 Dallas Street, Suite 2300  
 Houston, TX 77002  
 Phone 713-328-1000  
 Fax 713-358-6437



5751 KROGER DRIVE  
 SUITE 185  
 KELLER, TX 76244  
 PHONE: 817-562-3350

TEXAS FIRM NO. 12207

**LEGEND**

- 5510 — EXISTING CONTOURS
- 5512 — PROPOSED CONTOURS
- SECTION LINES

PROJECT NO: CIVIL PLANS  
 FILE PATH: G:\JOB\CRZ12002\_Colorado\Petrol  
 DRAWN BY: NCR, BSM  
 REVIEWED BY: PCF  
 DATE: NOVEMBER 2012  
 REV:

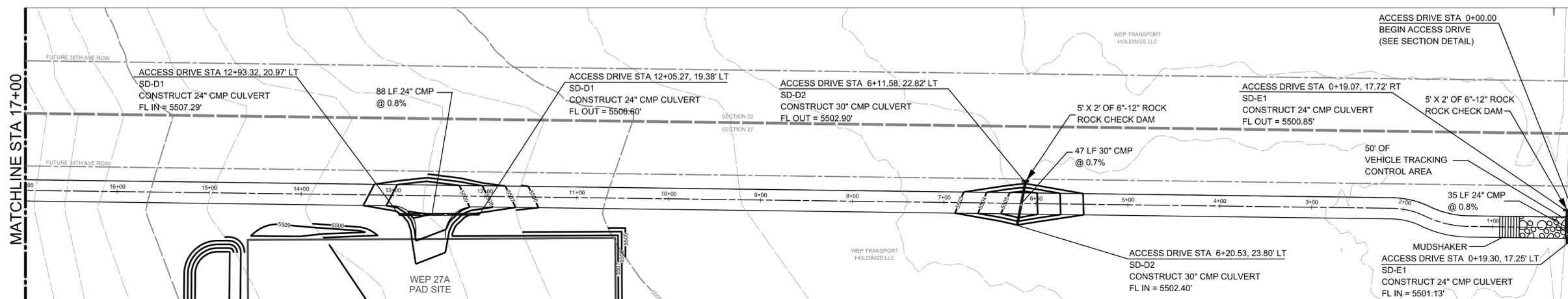


SHEET CONTENT

**ACCESS DRIVE  
 & STORM DRAIN  
 PLAN**

STA 0+00 - STA 51+00

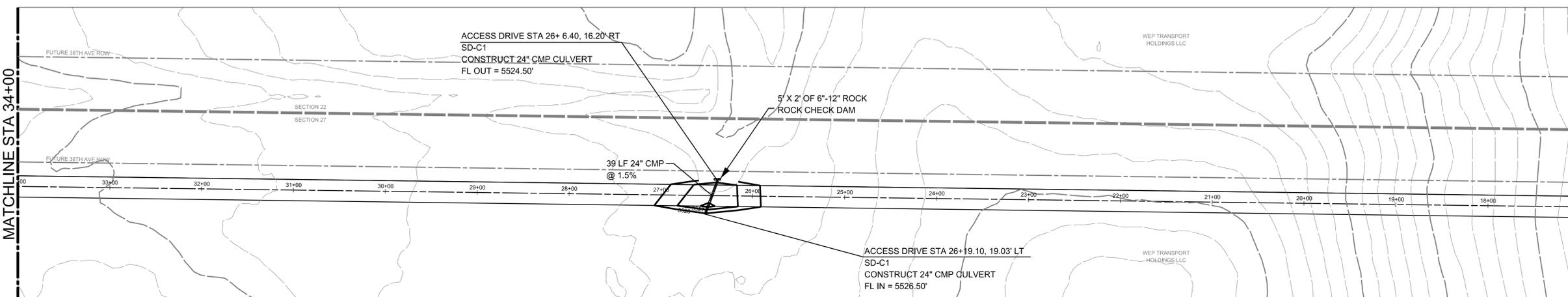
SHEET NO. **5**



NOTES:

1. ACCESS DRIVE TO BE CONSTRUCTED AT GRADE EXCEPT WHERE SHOWN OTHERWISE.
2. THE ACCESS DRIVE SHALL BE CONSTRUCTED WITH ROUGH CUT STREET CONTROL MEASURES UNLESS PAVING IS TO OCCURE WITHIN 14 DAYS AFTER FINAL GRADING.

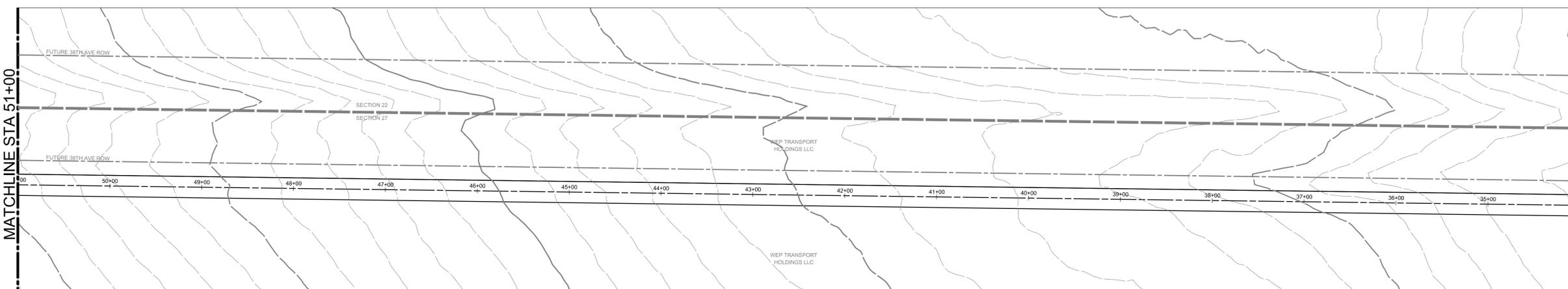
STA 0+00 TO STA 17+00



NOTES:

1. ACCESS DRIVE TO BE CONSTRUCTED AT GRADE EXCEPT WHERE SHOWN OTHERWISE.
2. THE ACCESS DRIVE SHALL BE CONSTRUCTED WITH ROUGH CUT STREET CONTROL MEASURES UNLESS PAVING IS TO OCCURE WITHIN 14 DAYS AFTER FINAL GRADING.

STA 17+00 TO STA 34+00



NOTES:

1. ACCESS DRIVE TO BE CONSTRUCTED AT GRADE EXCEPT WHERE SHOWN OTHERWISE.
2. THE ACCESS DRIVE SHALL BE CONSTRUCTED WITH ROUGH CUT STREET CONTROL MEASURES UNLESS PAVING IS TO OCCURE WITHIN 14 DAYS AFTER FINAL GRADING.

STA 34+00 TO STA 51+00

CIVIL PLANS FOR  
**WEP 27A,  
 WEP 28A, &  
 FRESHWATER  
 STORAGE PIT #1**  
 AURORA, COLORADO



500 Dallas Street, Suite 2300  
 Houston, TX 77002  
 Phone 713-328-1000  
 Fax 713-358-6437



5751 KROGER DRIVE  
 SUITE 185  
 KELLER, TX 76244  
 PHONE: 817-562-3350

TEXAS FIRM NO. 12207

**LEGEND**

- 5510 — EXISTING CONTOURS
- 5512 — PROPOSED CONTOURS
- SECTION LINES
- SILT FENCE

PROJECT NO: CIVIL PLANS  
 FILE PATH: G:\JOB\CRZ12002\_Colorado\Petrol  
 DRAWN BY: NCR, BSM  
 REVIEWED BY: PCF  
 DATE: NOVEMBER 2012  
 REV:



GRAPHIC SCALE (SHEET 24X36)

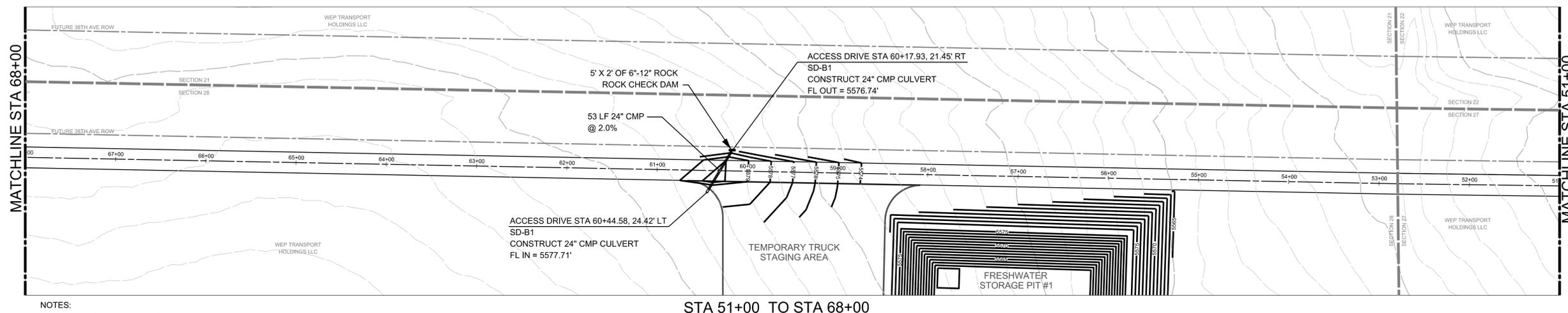


SHEET CONTENT

**ACCESS DRIVE  
 & STORM DRIAN  
 PLAN**

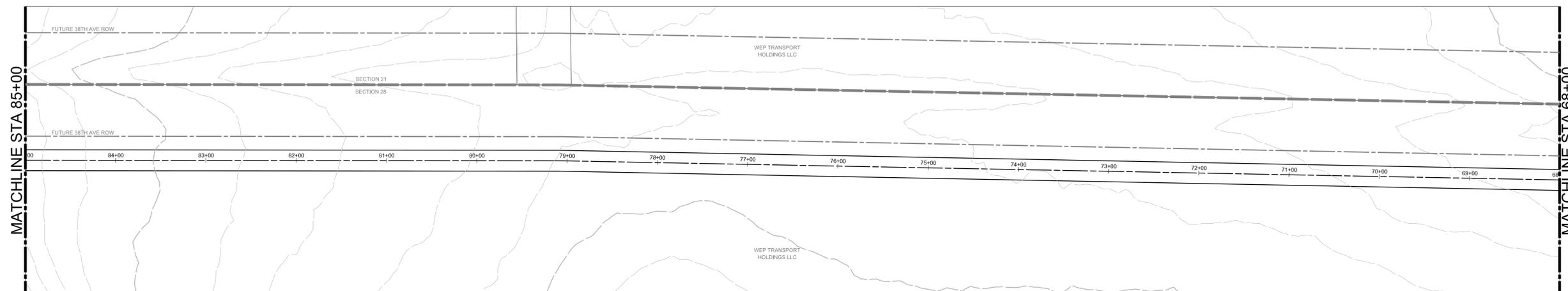
STA 51+00 - STA 92+84.97

SHEET NO. **6**



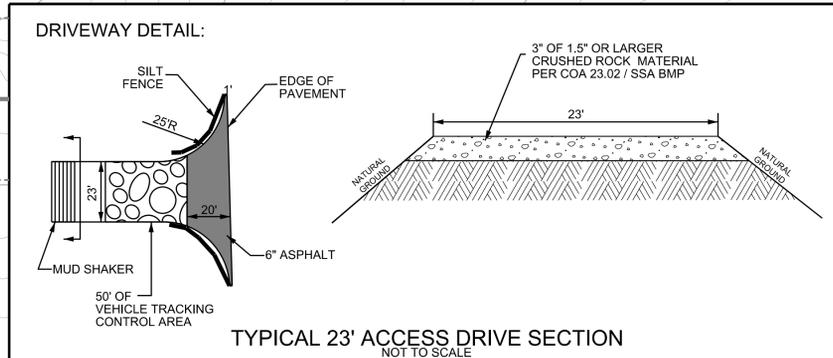
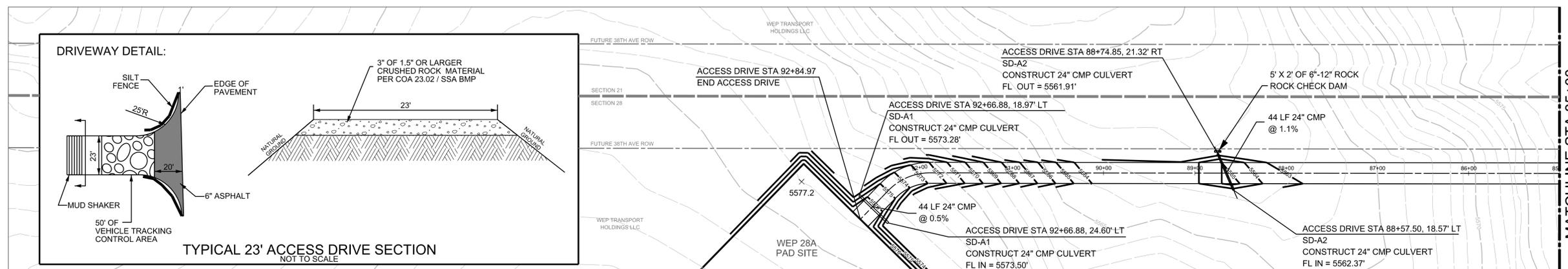
- NOTES:
1. ACCESS DRIVE TO BE CONSTRUCTED AT GRADE EXCEPT WHERE SHOWN OTHERWISE.
  2. THE ACCESS DRIVE SHALL BE CONSTRUCTED WITH ROUGH CUT STREET CONTROL MEASURES UNLESS PAVING IS TO OCCURE WITHIN 14 DAYS AFTER FINAL GRADING.

STA 51+00 TO STA 68+00



- NOTES:
1. ACCESS DRIVE TO BE CONSTRUCTED AT GRADE EXCEPT WHERE SHOWN OTHERWISE.
  2. THE ACCESS DRIVE SHALL BE CONSTRUCTED WITH ROUGH CUT STREET CONTROL MEASURES UNLESS PAVING IS TO OCCURE WITHIN 14 DAYS AFTER FINAL GRADING.

STA 68+00 TO STA 85+00



- NOTES:
1. ACCESS DRIVE TO BE CONSTRUCTED AT GRADE EXCEPT WHERE SHOWN OTHERWISE.
  2. THE ACCESS DRIVE SHALL BE CONSTRUCTED WITH ROUGH CUT STREET CONTROL MEASURES UNLESS PAVING IS TO OCCURE WITHIN 14 DAYS AFTER FINAL GRADING.

STA 85+00 TO STA 92+84.97

# SURVEY CONTROL DRAWING

## FOR

# WEP 27A & WEP 28A WELL PADS & FRESHWATER STORAGE PIT #1 (FWSP#1)

LEGAL DESCRIPTION:  
 WEP 27A: SEC 27, T3S, R64W 6th P.M.  
 WEP 28A: SEC 28, T3S, R64W 6th P.M.  
 FWSP#1: SEC 28, T3S, R64W 6th P.M.  
 ADAMS COUNTY, COLORADO

CIVIL PLANS  
 FOR  
**WEP 27A,  
 WEP 28A, &  
 FRESHWATER  
 STORAGE PIT #1**  
 AURORA, COLORADO



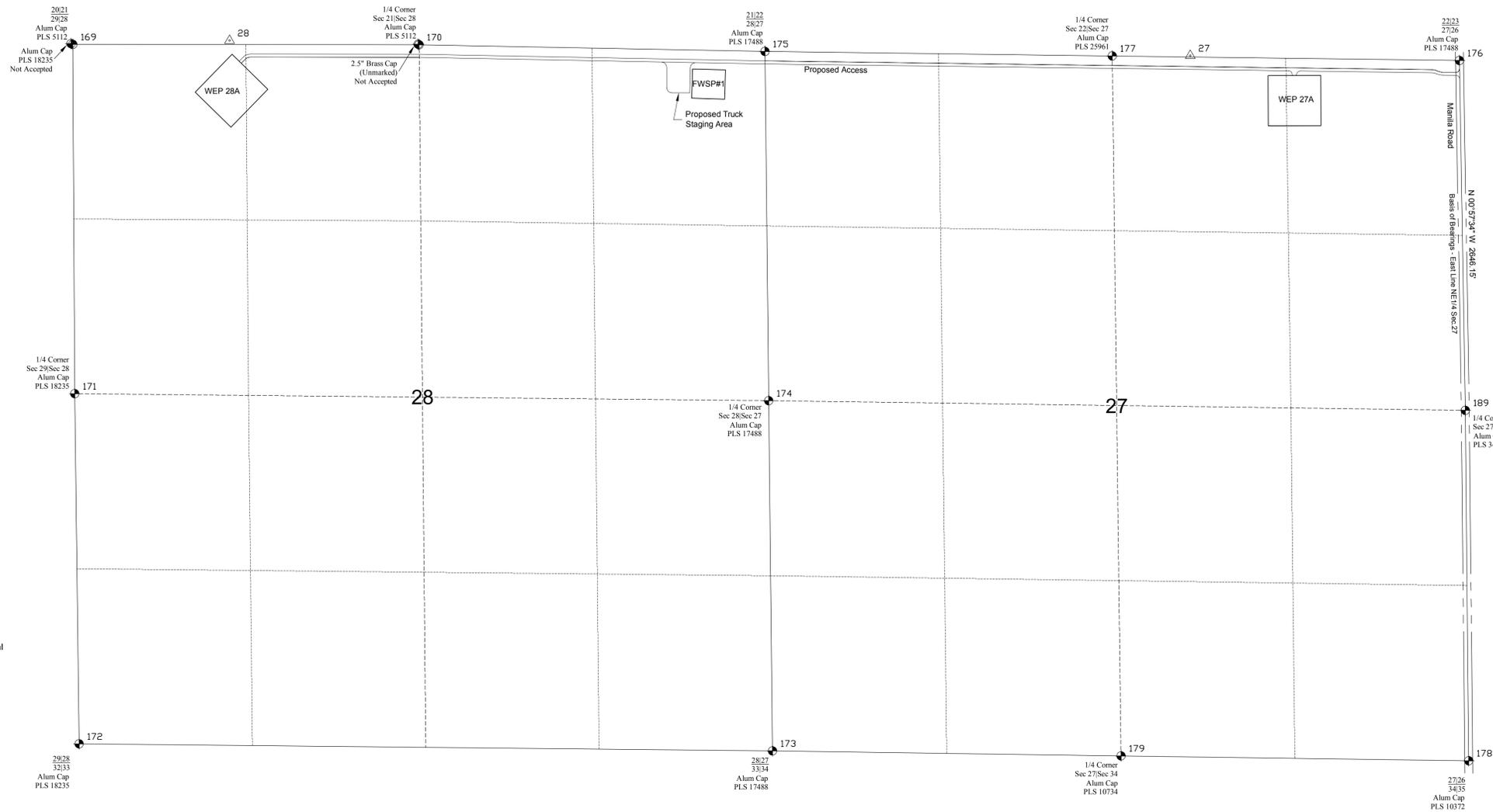
500 Dallas Street, Suite 2300  
 Houston, TX 77002  
 Phone 713-328-1000  
 Fax 713-358-6437



5751 KROGER DRIVE  
 SUITE 185  
 KELLER, TX 76244  
 PHONE: 817-562-3350

TEXAS FIRM NO. 12207

PROJECT NO: CIVIL PLANS  
 FILE PATH: G:\JOB\CRZ12002\_Colorado\Petro\  
 DRAWN BY: NCR, BSM  
 REVIEWED BY: PCF  
 DATE: SEPTEMBER 2012  
 REV:



**CARRIZO WELL PADS & FRESHWATER STORAGE PIT**  
 Sections 27 & 28 T3S R64W  
 Coordinates are NAD83, Colorado State Plane Central Zone/NAVD 88  
 Project Scale Factor 0.999737065

PT#	Northing	Easting	Elevation	Grid Factor	Description
169	1706056.00	3262972.81	5563.8	0.999737065	09I-3564W-ALUMINUM CAP PLS 5112
170	1706053.37	3265603.27	5583.2	0.999737065	11I-3564W-ALUMINUM CAP PLS 5112
171	1703414.49	3262988.18	5542.2	0.999737065	09G-3564W-ALUMINUM CAP PLS 18235
172	1700766.15	3263021.26	5547.8	0.999737065	09E-3564W-ALUMINUM CAP PLS 18235
173	1700713.03	3268287.76	5570.7	0.999737065	13E-3564W-ALUMINUM CAP PLS 17488
174	1703361.50	3268258.88	5569.7	0.999737065	13G-3564W-ALUMINUM CAP PLS 17488
175	1706003.10	3268230.57	5558.3	0.999737065	13I-3564W-ALUMINUM CAP PLS 17488
176	1705934.10	3273505.98	5502.1	0.999737065	17I-3564W-ALUMINUM CAP PLS 17488
177	1705968.58	3270868.35	5524.6	0.999737065	15I-3564W-ALUMINUM CAP PLS 25961
178	1700638.49	3273576.35	5552.0	0.999737065	17E-3564W-ALUMINUM CAP PLS 10372
179	1700675.34	3270935.25	5556.5	0.999737065	15E-3564W-ALUMINUM CAP PLS 10734
189	1703288.32	3273550.29	5521.6	0.999737065	17G-3564W-ALUMINUM CAP PLS 34977

PROJECT COORDINATES N/A

PT#	Northing	Easting	Elevation	Grid Factor	Description
21	1698011.06	3252233.16	5518.5		NGS 5513-G 2
23	1721777.30	3247859.49	5408.5		NGS DR R Converted from SP North to SP Central
27	1705970.83	3271461.12	5527.4	0.999737065	2" ALUMINUM CAP ON #5 REBAR
28	1706084.98	3264164.34	5572.8	0.999737065	2" ALUMINUM CAP ON #5 REBAR

PROJECT BENCHMARK

21	1698011.06	3252233.16	5518.5		NGS 5513-G 2
----	------------	------------	--------	--	--------------

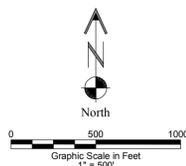
COA BENCHMARK 356427NE001 - 3" BRASS CAP ON EAST SIDE OF MANILA RD. IN A N-S FENCE FOR FRONT RANGE AIRPORT NEAR THE 1/4 CORNER FOR SEC. 27/26, T3S R64W. ELEVATION=5522.18 NAVD88  
 Note: Not Used

I, E. J. Grabowski, a licensed Professional Land Surveyor in the State of Colorado, certify that the section corner information shown hereon is complete, to the best of my knowledge.

E.J. Grabowski  
 PLS 22097



**Legend**  
 Found Section Corner As Noted  
 Site Control Point



SHEET CONTENT

SHEET NO.